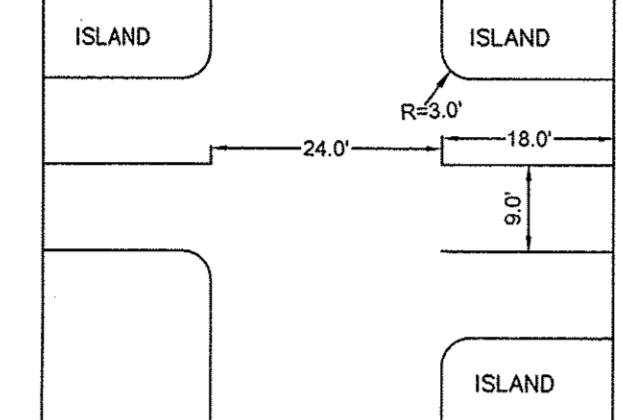


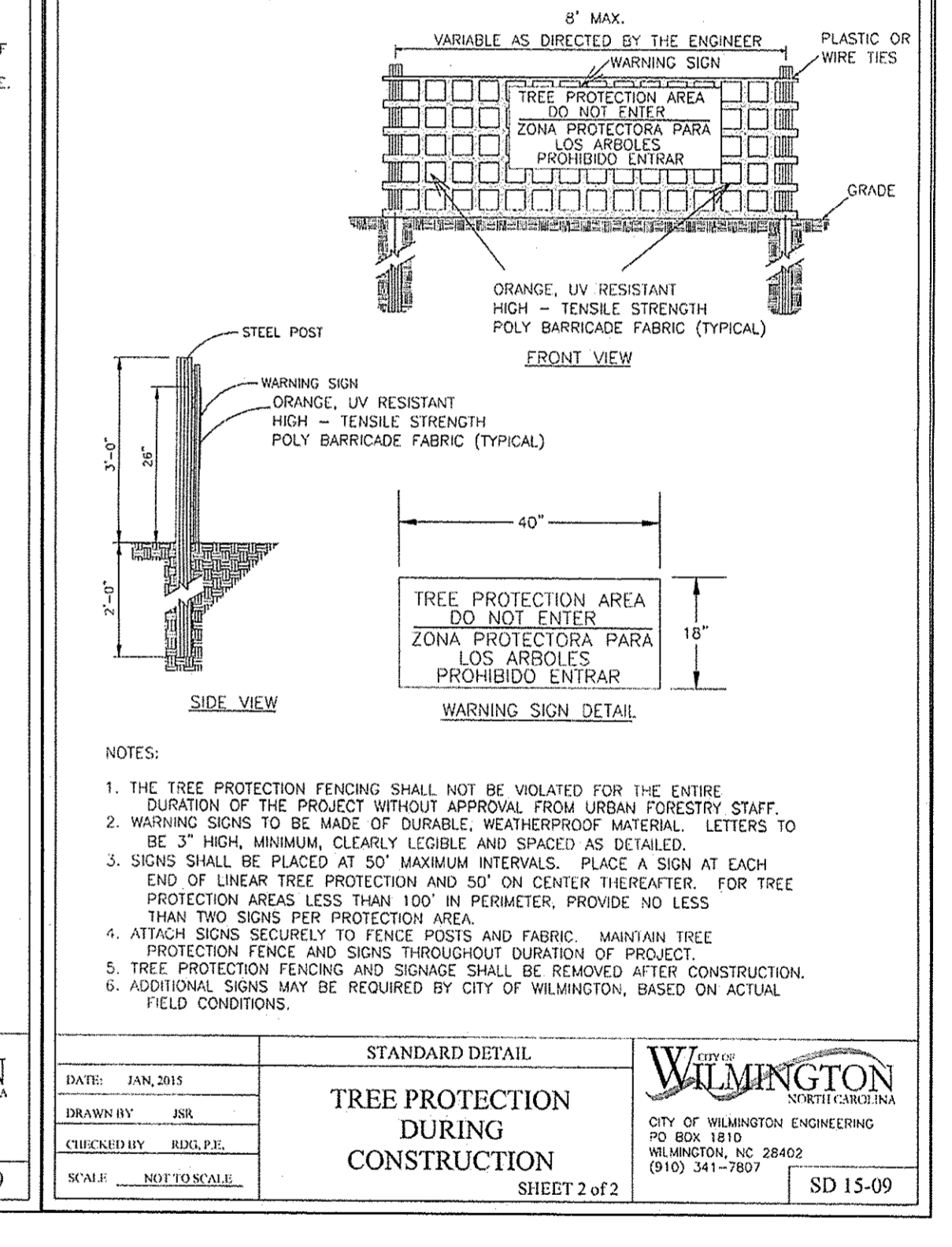
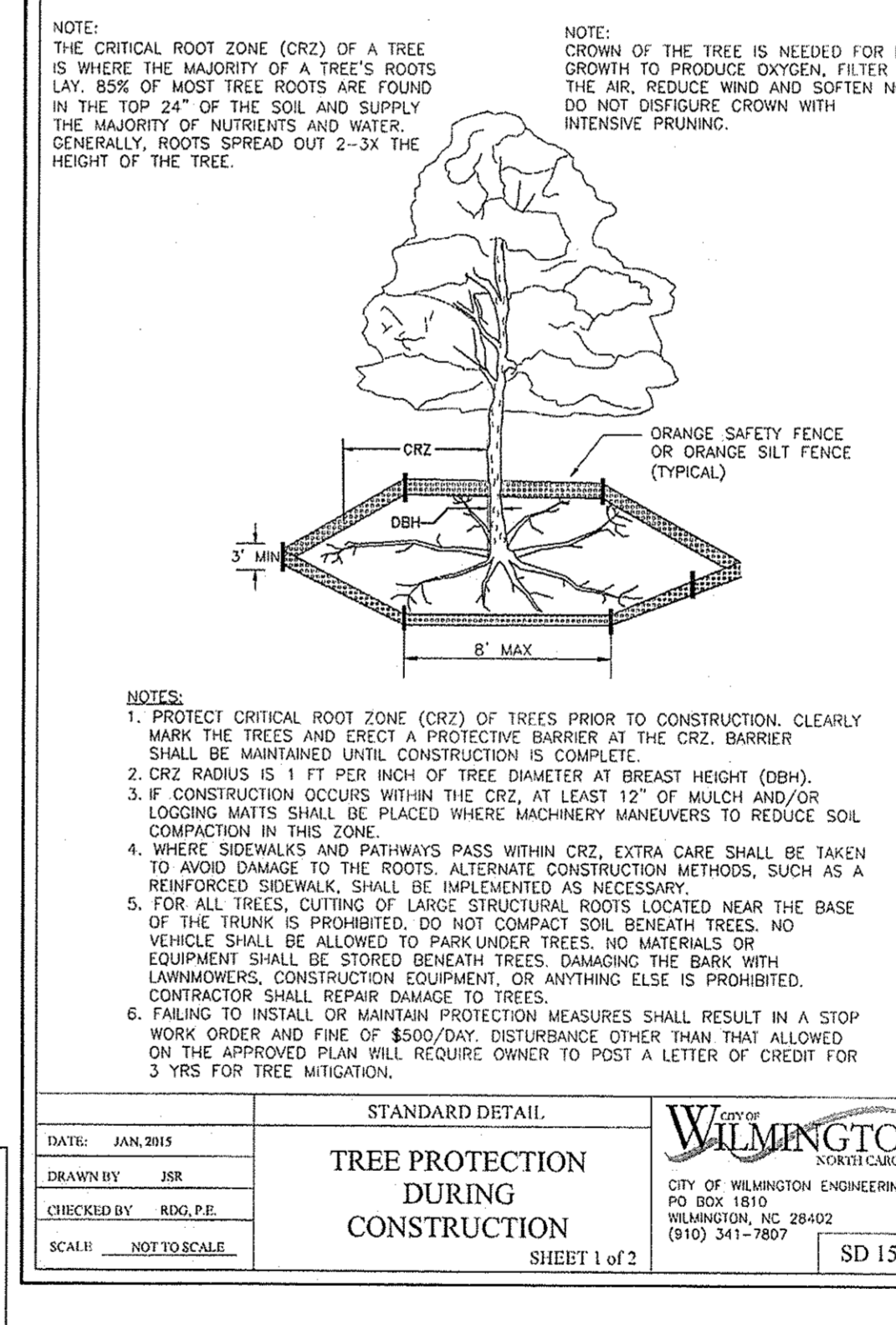
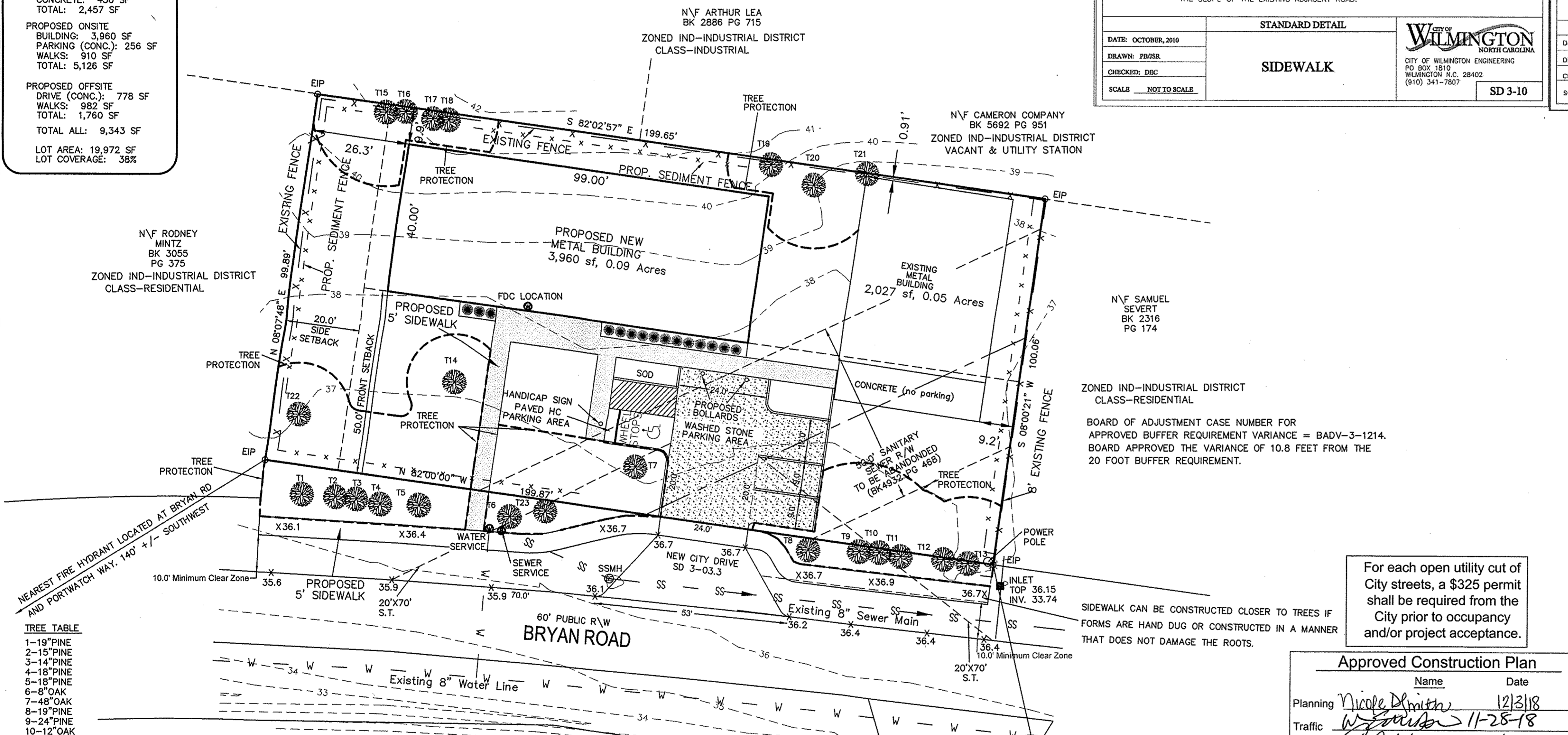
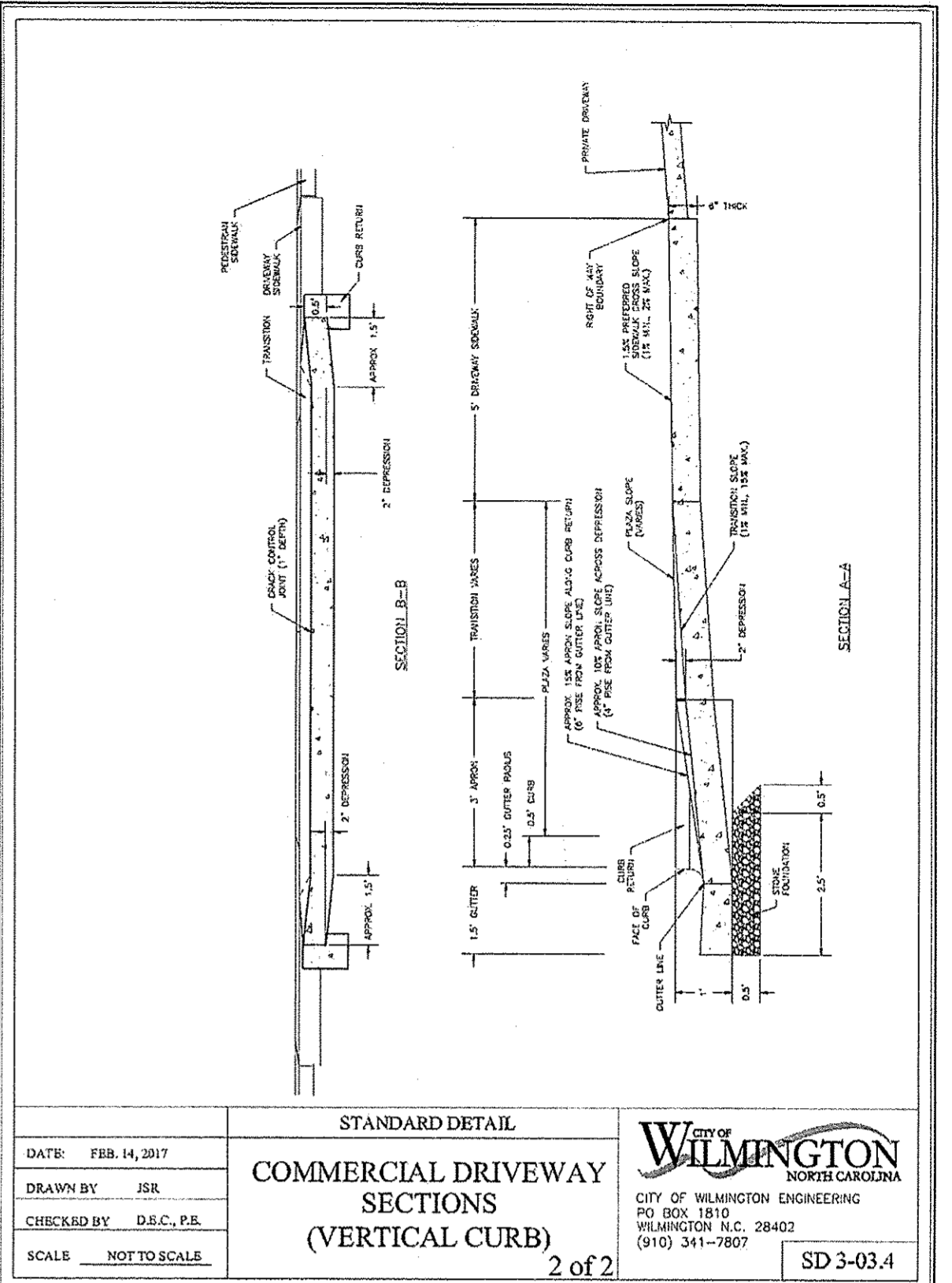
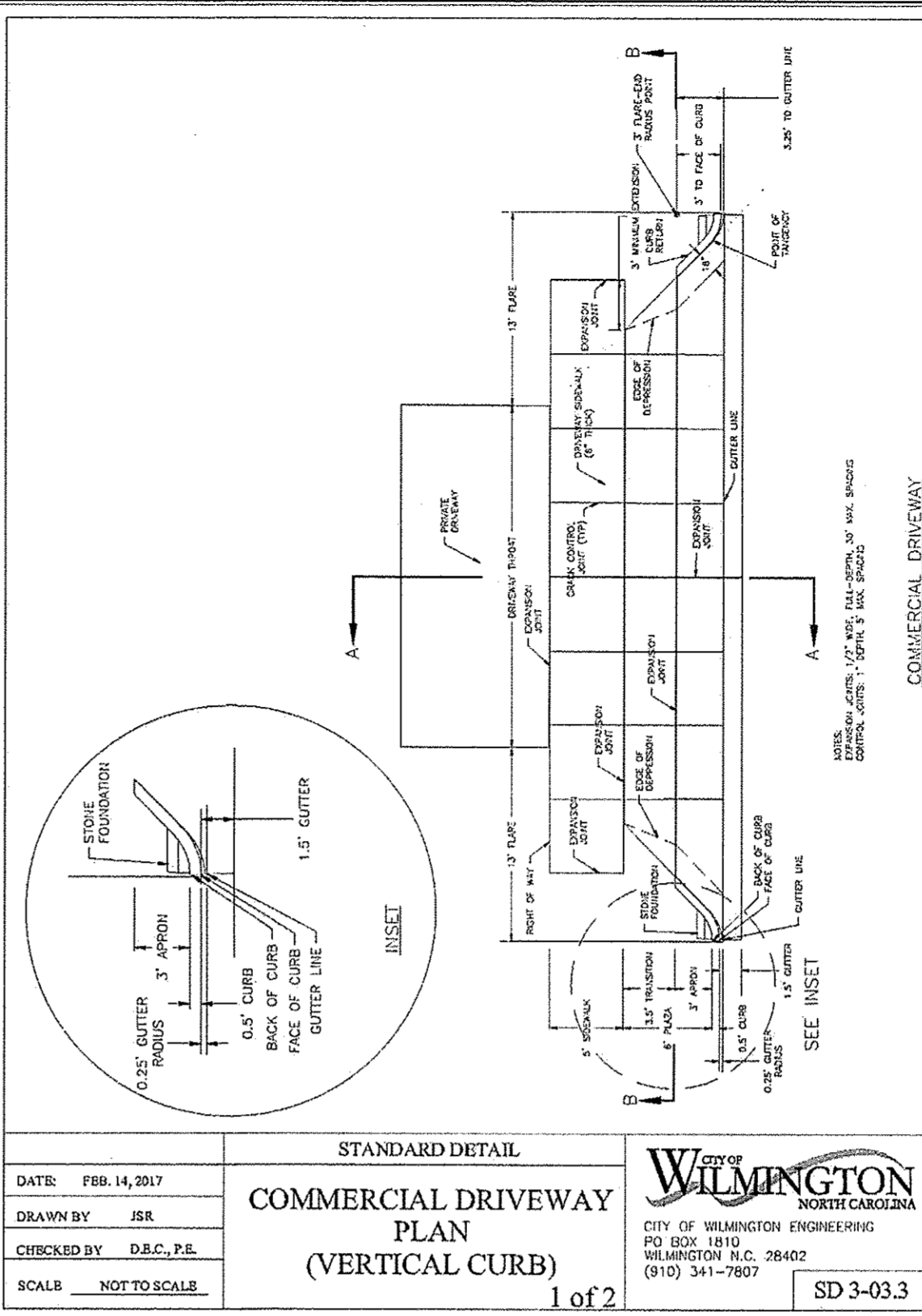
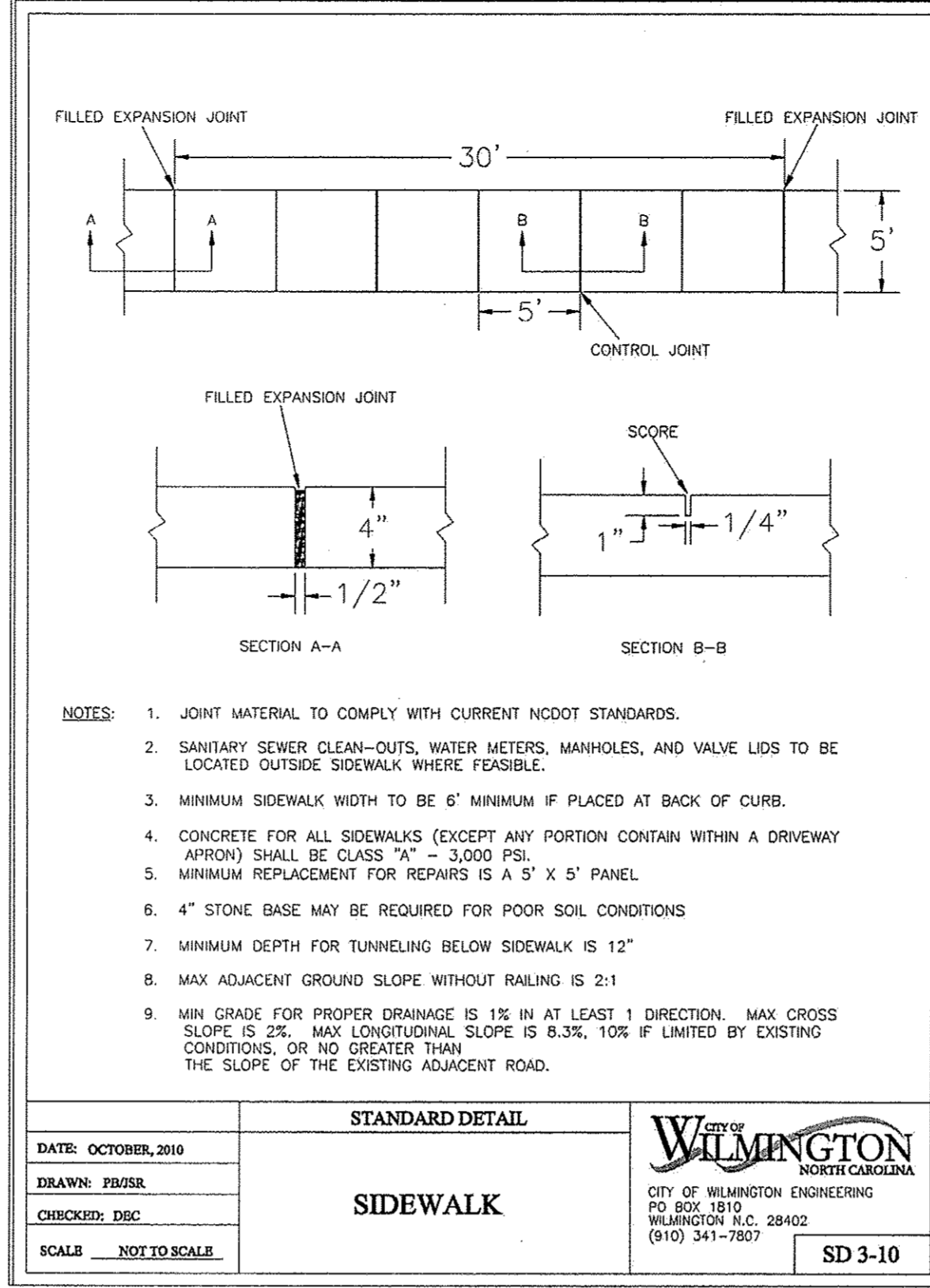
SITE DATA
 OWNER: SALTWATER WOODWORKING, INC.
 200 S. 4th STREET
 CAROLINA BEACH, NC 28428
 Email: saltwaterwoodworking@gmail.com
 SITE ADDRESS: 119 BRYAN ROAD
 NHC PIN: R06500-006-004-000
 TOTAL TRACT AREA: 0.45 ACRES
 ZONING: IND-INDUSTRIAL DISTRICT
 PROPOSED USE: LIGHT INDUSTRIAL USE, NOT WOODWORKING
 CAMA LAND USE: URBAN
 FLOOD DATA: ZONE X, FIRM 3720/3115 J, EFFECTIVE 6/02/2006
 NO OPEN SPACE OR RECREATIONAL AREAS PROVIDED
 SETBACKS:
 FRONT 50 FEET
 SIDE 20 FEET (WHEN ABUTTING RESIDENTIAL USE)
 REAR 0 FEET
 SOLID WASTE DISPOSAL: ROLL-OUT TRASH CANS WILL BE KEPT INSIDE THE OPEN AIR CENTER BUILDING.
 PARKING REQUIREMENTS/CALCULATIONS: INDUSTRIAL (square footage is based upon building area)
 MAXIMUM 1 SPACE PER 1,000 sf = 5,987 sf / 1,000 sf = 5.9 = 6 SPACES
 MINIMUM 1 SPACE PER 1,500 sf = 5,987 sf / 1,500 sf = 3.9 = 4 SPACES
 PROPOSED PARKING: 4 SPACES
 EXISTING WATER: - 410 GPD
 EXISTING SEWER: - 0 GPD
 PROPOSED WATER: 820 GPD (PROPOSED 2 X 410)
 PROPOSED SEWER: 480 GPD (PROPOSED 2 X 240)
 BUILDING DETAILS:
 # OF BUILDINGS: 2
 # OF STORIES: 1
 BUILDING HEIGHT (PROPOSED): 16'
 1ST FLOOR: 3,960 SF
 BUILDING SETBACKS (PROPOSED):
 FRONT SETBACK: 50.0'
 REAR SETBACK: 9.9'
 WEST SIDE SETBACK: 26.3'
 EAST SIDE SETBACK: n/a; Existing Building on East side
 INTERNATIONAL BUILDING CODE TYPE I, PER PLANS

NOTES:
 1. CURBING, CROSSIES, UTILITY POLES, ETC. CAN BE USED AS WHEEL STOPS IF ANCHORED DOWN.
GENERAL NOTES:
 1. All pavement markings in public rights-of-way and for driveways area to be thermoplastic and meet City and/or NCDOT standards.
 2. All signs and pavement markings in areas open to public traffic are to meet MUTCD (manual for Uniform Traffic Control Devices) standards.
 3. All traffic control signs and markings off the right-of-way are to be maintained by the property owner in accordance with MUTCD standards.
 4. All parking stall markings and lane arrows within the parking areas shall be white.
 5. A utility cut permit is required for each open cut of a City street. Note this on the plan and contact 341-5888 for more details. In certain cases an entire resurfacing of the area being open cut may be required.
 6. Any broken or missing sidewalk panels, driveway panels and curbing will be replaced.
 7. A landscaping plan indicating the location of required street trees shall be submitted to the City of Wilmington Traffic Engineering Division and Parks and Recreation Department for review and approval prior to the recording of the final plan.
 8. Contact Traffic Engineering at 341-7888 forty-eight hours prior to any excavation in the right of way.

PARKING DIMENSIONS (TYPICAL)



IMPERVIOUS CALCULATIONS
 EXISTING IMPERVIOUS BUILDING: 2,027 SF
 CONCRETE: 430 SF
 TOTAL: 2,457 SF
 PROPOSED ON SITE BUILDING: 3,960 SF
 PARKING (CONC.): 256 SF
 WALKS: 910 SF
 TOTAL: 5,126 SF
 PROPOSED OFF SITE DRIVE (CONC.): 778 SF
 WALKS: 982 SF
 TOTAL: 1,760 SF
 TOTAL ALL: 9,343 SF
 LOT AREA: 19,972 SF
 LOT COVERAGE: 36%

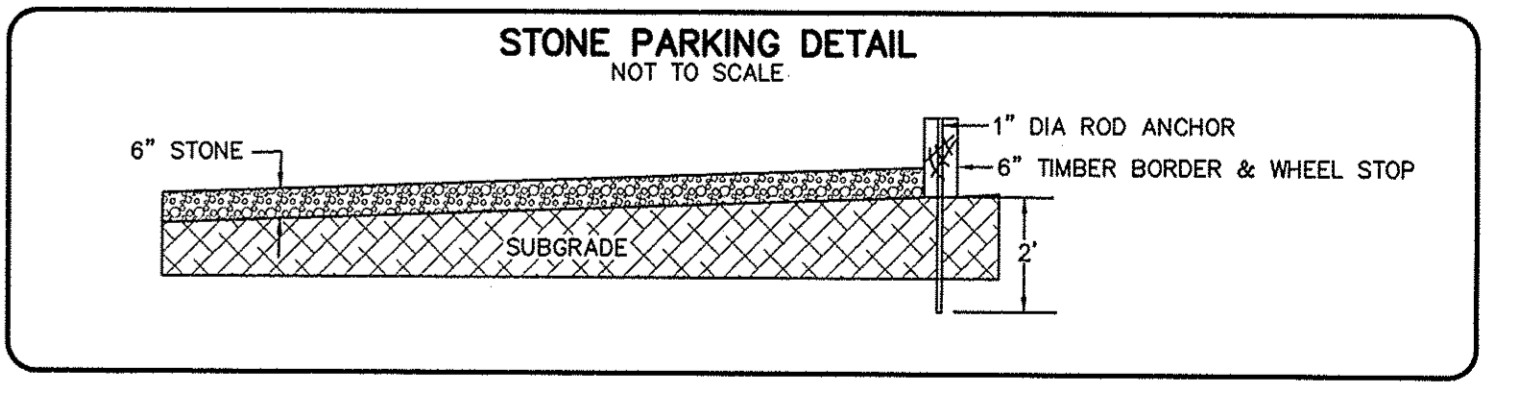
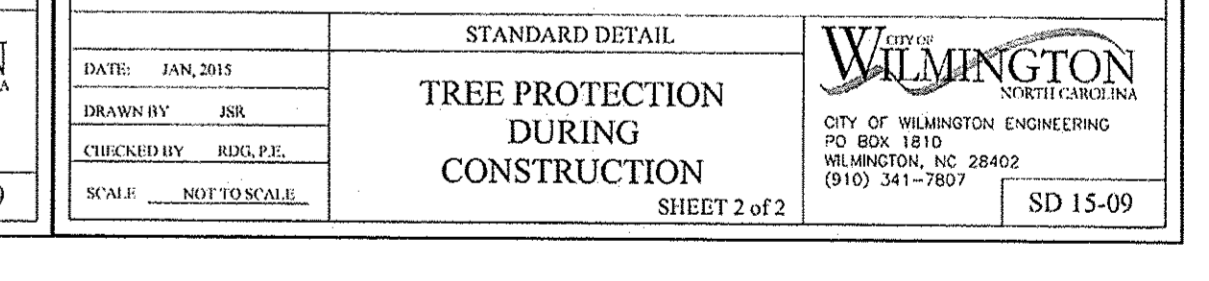
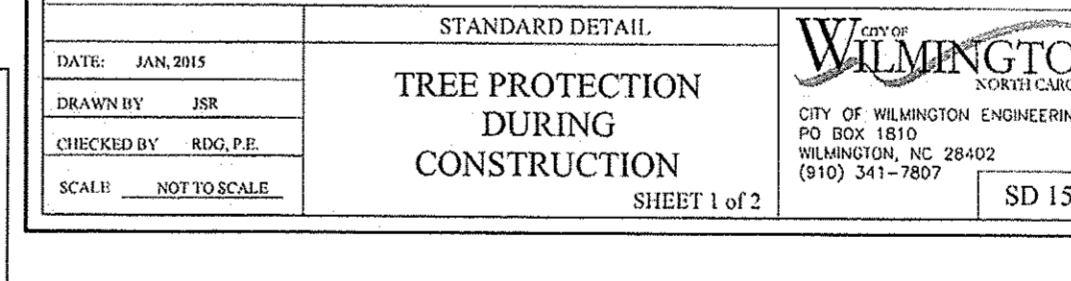


For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

Approved Construction Plan

Name	Date
Planning Nicole D. Smith	12/31/18
Traffic W. J. ...	11-28-18
Fire City ...	11/29/19

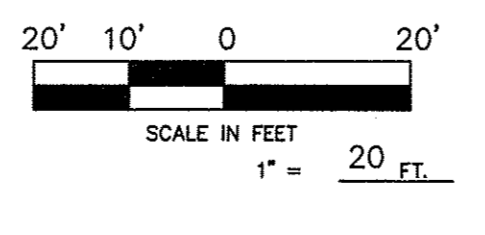
CITY OF WILMINGTON
 NORTH CAROLINA
 Public Services Engineering Division
 APPROVED DRAINAGE PLAN
 Date: 11/29/2018 Permit #2018052
 Signed: [Signature] for RAC



LEGEND
 E.I.P. = EXISTING IRON PIPE
 E.I. = EXISTING IRON
 E.C.M. = EXISTING CONCRETE MONUMENT
 R/W = RIGHT OF WAY
 C.P. = COMPUTED POINT
 S = SMALL TREE
 DW = DWARF EVERGREENS
 PROPERTY LINE
 BUILDING SETBACK
 CENTERLINE
 EASEMENT
 COMPUTED PROPERTY LINE

NOTES:
 1. AREA COMPUTED BY COORDINATE METHOD
 2. ALL DISTANCES ARE HORIZONTAL, NC GRID NORTH
 3. FOR REFERENCE SEE AS NOTED
 4. SURVEYED DECEMBER 2015, TOPOGRAPHIC INFORMATION ADDED APRIL 2017
 5. ELEVATION BASED ON NAVD 1988 (HDS GPS)

NOTES:
 1. CONTRACTOR SHALL MAINTAIN AN ALL-WEATHER ACCESS FOR EMERGENCY VEHICLES AT ALL TIMES DURING CONSTRUCTION.
 2. NEW HYDRANTS MUST BE BROUGHT INTO SERVICE PRIOR TO COMBUSTIBLE MATERIALS DELIVERED TO THE JOB SITE.
 3. HYDRANT MUST BE WITHIN 150' OF THE FDC. (MEASURED AS THE TRUCK DRIVES FOR PRECATICAL USE)
 4. LANDSCAPING OR PARKING CANNOT BLOCK OR IMPEDE THE FDC OR FIRE HYDRANTS. A 3-FOOT CLEAR SPACE SHALL BE MAINTAINED AROUND THE CIRCUMFERENCE OF THE HYDRANT AND FDC.
 5. IN ADDITION TO THE STANDARD COMMENTS, ADDITIONAL FIRE PROTECTION AND ACCESSIBILITY REQUIREMENTS MAY BE REQUIRED DUE TO ANY SPECIAL CIRCUMSTANCES CONCERNING THE PROJECT.
 6. PRIVATE UNDERGROUND FIRE LINES REQUIRE A SEPARATE UNDERGROUND FIRE LINE PERMIT FROM THE WILMINGTON FIRE & LIFE SAFETY DIVISION 910-343-0696.
 7. ALL ISOLATION VALVES WITHIN THE "HOT BOX" SHALL BE ELECTRICALLY SUPERVISED. PLEASE WORK CLOSELY WITH YOUR FIRE SPRINKLER AND ALARM INSTALLER IN REGARDS TO RUNNING WIRE FOR TAMPER SWITCH.



REV. NO.	REVISIONS	DATE
4	CITY COMMENTS	11-07-2018
3	CITY COMMENTS	08-28-2018
2	BUILDING GROSS AREA CHANGE, PARKING CHANGES	03-14-2018
1	CITY OF WILMINGTON TRC REVIEW COMMENTS	10-10-2017

SITE PLAN
SALTWATER PROPERTIES LLC
 CITY OF WILMINGTON
 NEW HANOVER COUNTY, NORTH CAROLINA

OWNER: SALTWATER WOODWORKING, INC.
 200 S. 4th STREET
 CAROLINA BEACH, NC 28428
 PH.

HANOVER DESIGN SERVICES, P.A.
 LAND SURVEYORS, ENGINEERS & LAND PLANNERS
 1123 FLORAL PARKWAY
 WILMINGTON, N.C. 28403
 PHONE: (910) 343-8002 LICENSE NO.: C-0582

Date: 12-01-17
 Scale: 1" = 20'
 Drawn: WNP
 Checked: JLW
 Project No: 12957-site
 Sheet No: 1
 of: 2

Preliminary Plan

LANDSCAPING DATA

STREET YARD CALCULATION
 MAXIMUM WIDTH: 37.5'
 PROVIDED STREET YARD (sf): 2,009 sf
 STREET YARD MINIMUM STANDARD: FOR EVERY 600 SQUARE FEET OF STREET YARD AREA, THE STREET YARD SHALL CONTAIN:
 a. ONE (1) CANOPY TREE AS SPECIFIED IN SECTION 18-448, OR
 b. THREE (3) STANDARD UNDERSTORY TREES WHERE OVERHEAD POWER LINES PROHIBIT CANOPY TREES IN THE STREET YARD.
 c. SIX (6) SHRUBS, TWELVE (12) INCHES IN HEIGHT AT PLANTING.
 PROVIDED STREET YARD (sf) MINIMUM STANDARD:
 =2009 sf/ 600 sf = 3.3 CANOPY TREES = 4 CANOPY TREES REQUIRED
 =2009 sf/ 600 sf X 8" = 21 SHRUBS REQ. = 21 SHRUBS PROVIDED
 STREET YARD COVERED BY IMPERVIOUS AREA:
 MAXIMUM: NO MORE THAN 15%, 2009 sf x 0.15 = 302 sf
 PROPOSED: 63 sf OF IMPERVIOUS INSIDE STREET YARD

PARKING AREA INTERIOR:
 CANOPY COVERAGE NOT REQUIRED BECAUSE LESS THAN 5 PARKING SPACES

FOUNDATION PLANTINGS:
 92' x 16'(height) x 12% = 191 sf REQUIRED
 FOUNDATION AREA PROVIDED = 200 sf

NOTES:

1. CURBING, CROSSTIES, UTILITY POLES, ETC. CAN BE USED AS WHEEL STOPS IF ANCHORED DOWN.
- GENERAL NOTES:**
- All pavement markings in public rights-of-way and for driveways area to be thermoplastic and meet City and/or NCDOT standards.
 - All signs and pavement markings in areas open to public traffic are to meet MUTCD (manual for Uniform Traffic Control Devices) standards.
 - All traffic control signs and markings off the right-of-way are to be maintained by the property owner in accordance with MUTCD standards.
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SITE DATA

OWNER: SALTWATER WOODWORKING, INC.
 200 S. 4th STREET
 CAROLINA BEACH, NC 28428
 Email: saltwaterwoodworking@gmail.com

SITE ADDRESS: 119 BRYAN ROAD
 NHC PIN: RD6500-006-004-000
 TOTAL TRACT AREA: 0.45 ACRES
 ZONING: IND-INDUSTRIAL DISTRICT
 PROPOSED USE: LIGHT INDUSTRIAL USE, NOT WOODWORKING
 CAMA LAND USE: URBAN
 FLOOD DATA: ZONE X, FIRM 3720/3115 J, EFFECTIVE 6/02/2006
 NO OPEN SPACE OR RECREATIONAL AREAS PROVIDED

SETBACKS:
 FRONT 50 FEET
 SIDE 20 FEET (WHEN ABUTTING RESIDENTIAL USE)
 REAR 0 FEET
 SOLID WASTE DISPOSAL: ROLL-OUT TRASH CANS WILL BE KEPT INSIDE THE OPEN AIR CENTER BUILDING.

PARKING REQUIREMENTS/CALCULATIONS: INDUSTRIAL
 (square footage is based upon building area)
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 MINIMUM 1 SPACE PER 1,500 sf = 5,987 sf / 1,500 sf = 3.9 = 4 SPACES
 PROPOSED PARKING: 4 SPACES

EXISTING WATER: - 410 GPD
EXISTING SEWER: - 0 GPD
PROPOSED WATER: 820 GPD (PROPOSED 2 X 410)
PROPOSED SEWER: 480 GPD (PROPOSED 2 X 240)

BUILDING DETAILS:
 # OF BUILDINGS: 2
 # OF STORIES: 1
 BUILDING HEIGHT (proposed): 16'
 1ST FLOOR: 3,960 SF
 BUILDING SETBACKS (proposed):
 FRONT SETBACK: 50.0'
 REAR SETBACK: 9.9'
 WEST SIDE SETBACK: 26.3'
 EAST SIDE SETBACK: n/a; Existing Building on East side
 INTERNATIONAL BUILDING CODE TYPE I, PER PLANS

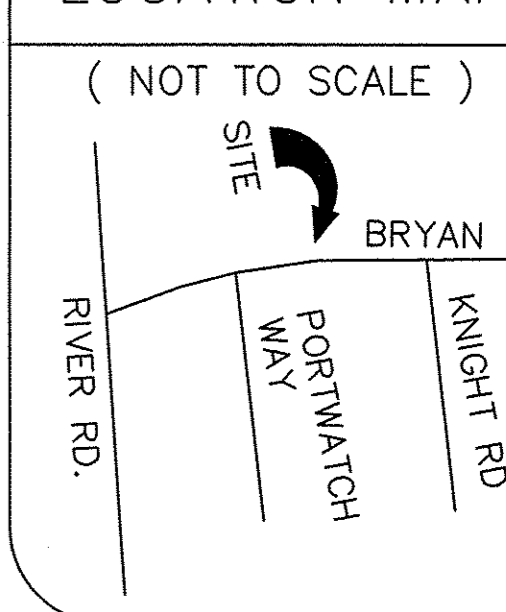
For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

Approved Construction Plan

Name	Date
Planning: Nicole DeGruith	12/21/18
Traffic: W. Johnson	11-28-18
Fire: C.J. Wald	1/29/19

CITY OF WILMINGTON
 NORTH CAROLINA
 Public Services Engineering Division
 APPROVED DRAINAGE PLAN
 Date: 11/29/2018 Permit #2018052
 Signed: *Janet Butler for RAC*

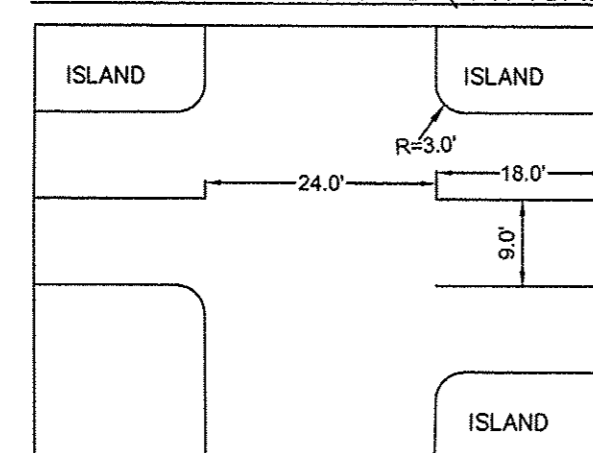
LOCATION MAP



LANDSCAPING NOTES:

- ALL PLANTINGS SHALL BE CURBED OR OTHERWISE PHYSICALLY PROTECTED SUCH AS BY WHEEL STOPS. IF CURBING IS USED, HOWEVER, CURB OPENINGS SHALL BE INSTALLED TO ALLOW PASSAGE OF STORMWATER INTO LANDSCAPED AREAS DESIGNED WITH DEPRESSED CONTOURS FOR INFILTRATION. (Sec. 18-481(f))
- PRIOR TO ANY CLEARING, GRADING, OR CONSTRUCTION ACTIVITY, TREE PROTECTION FENCING WILL BE INSTALLED AROUND PROTECTED TREES OR GROVES OF TREES. NO CONSTRUCTION WORKERS, TOOLS, MATERIALS, OR VEHICLES ARE PERMITTED WITHIN THE TREE PROTECTION FENCING.
- HVAC SYSTEM TO BE NON-VISIBLE FROM ADJACENT RESIDENTIAL USES.
- ALL LANDSCAPED AREAS ARE TO BE BORDERED WITH 6" TIMBER BARRIERS. 6" TIMBER BARRIERS MUST BE ANCHORED DOWN.

PARKING DIMENSIONS (TYPICAL)



IMPERVIOUS CALCULATIONS

EXISTING IMPERVIOUS BUILDING: 2,027 SF
 CONCRETE: 430 SF
 TOTAL: 2,457 SF

PROPOSED ONSITE:
 BUILDING: 3,960 SF
 PARKING (CONC.): 256 SF
 WALKS: 910 SF
 TOTAL: 5,126 SF

PROPOSED OFFSITE:
 DRIVE (CONC.): 778 SF
 WALKS: 922 SF
 TOTAL: 1,700 SF

TOTAL ALL: 9,343 SF

LOT AREA: 19,972 SF
 LOT COVERAGE: 38%

PLANT SCHEDULE

SYMBOL	CODE	QTY	COMMON NAME	SIZE	SPACING	REMARKS
	QL	7	QUERCUS LAURIFOLIA/LAUREL OAK	2"-2.5" CAL.		CANOPY TREE
	AG	23	ABELIA GLOSSY ABELIA	15-18" HGT.	48" O.C.	MED. SHRUB
	PM	15	PODOCARPUS/CHINESE PODOCARPUS	1"-18" HGT.		FOUNDATION SHRUB
	WM	16	MYRICA CERIFERA/MAX MYRTLE	3" HGT.	8' O.C.	MED. SHRUB

WESTERN BUFFER

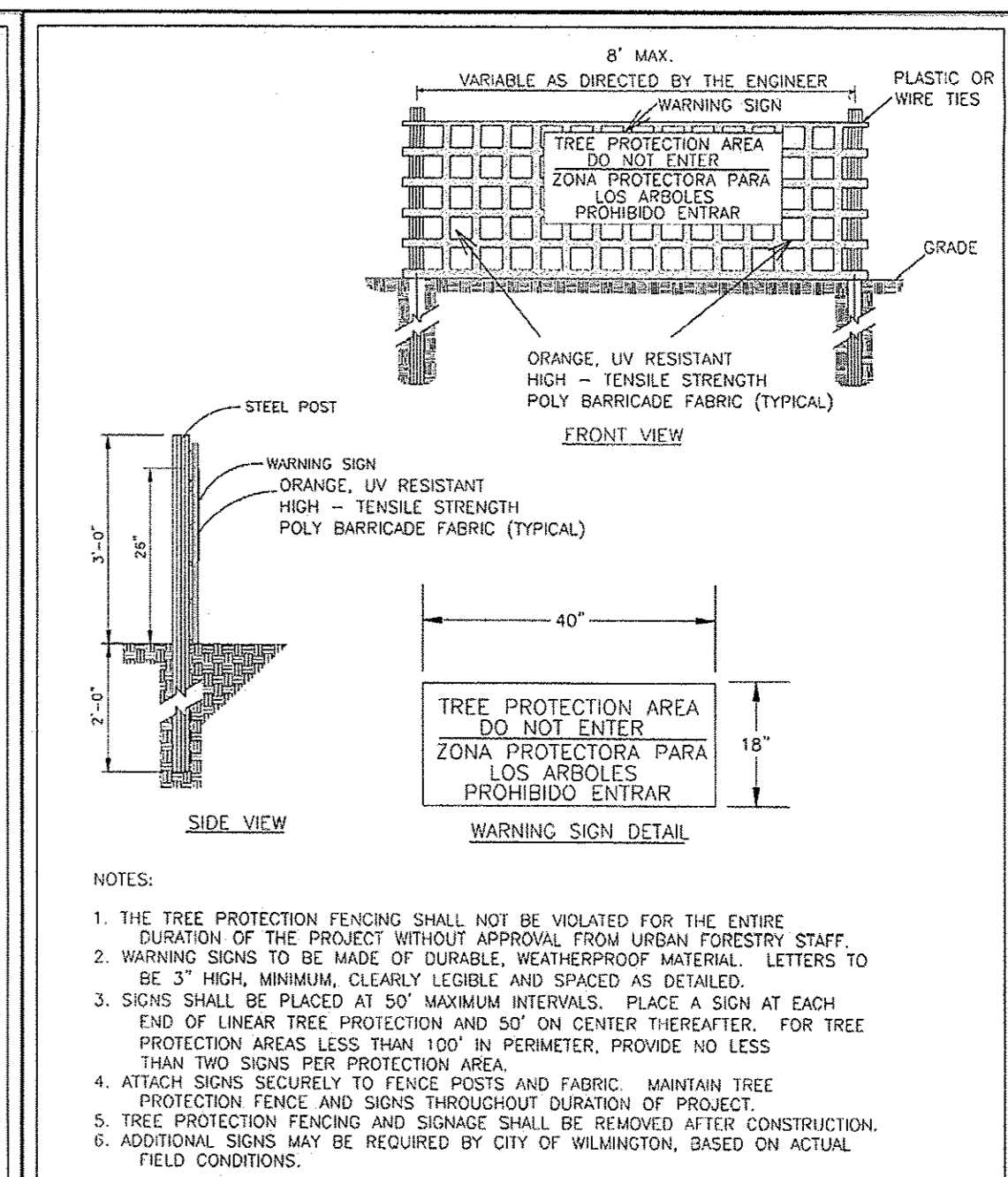
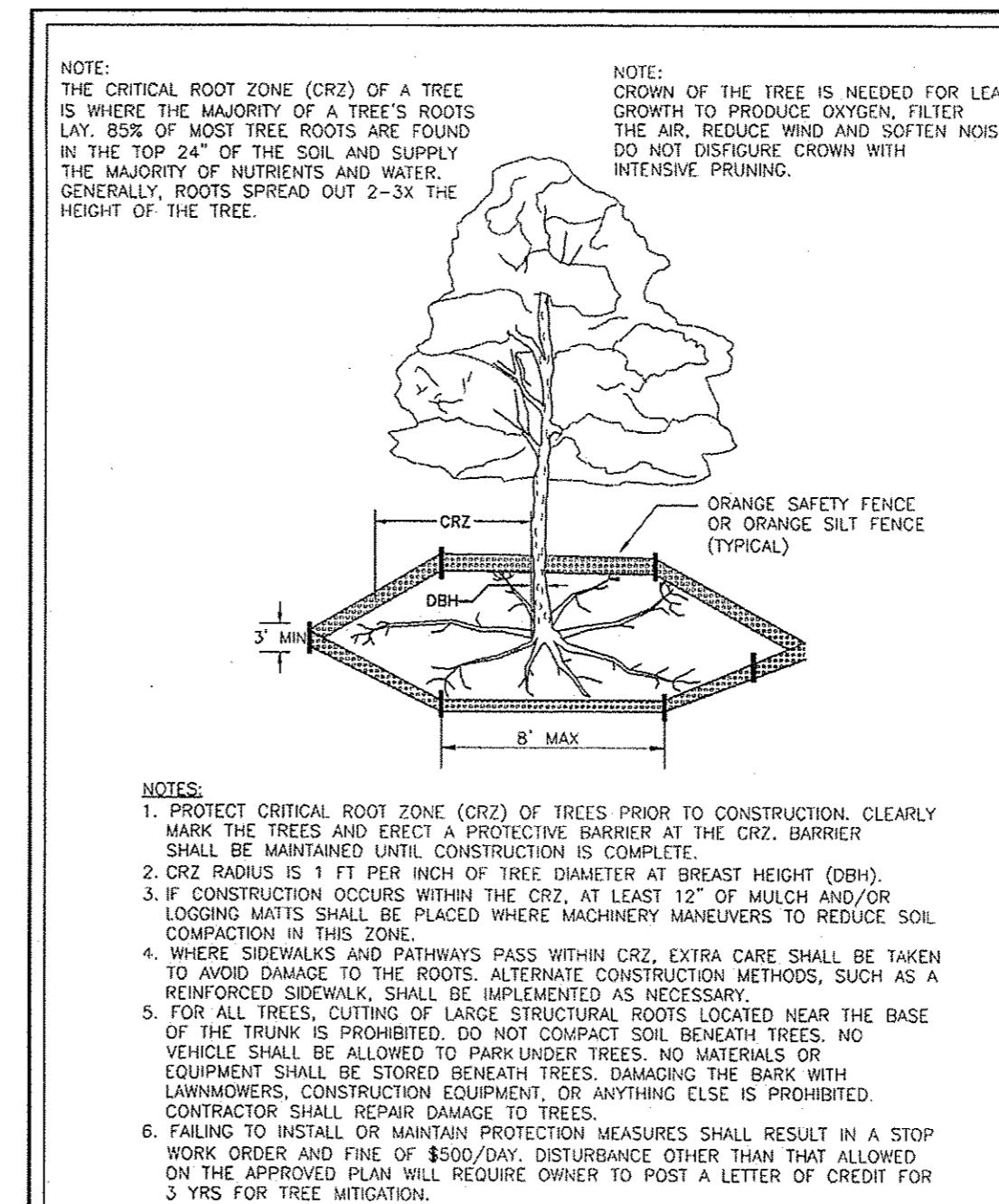
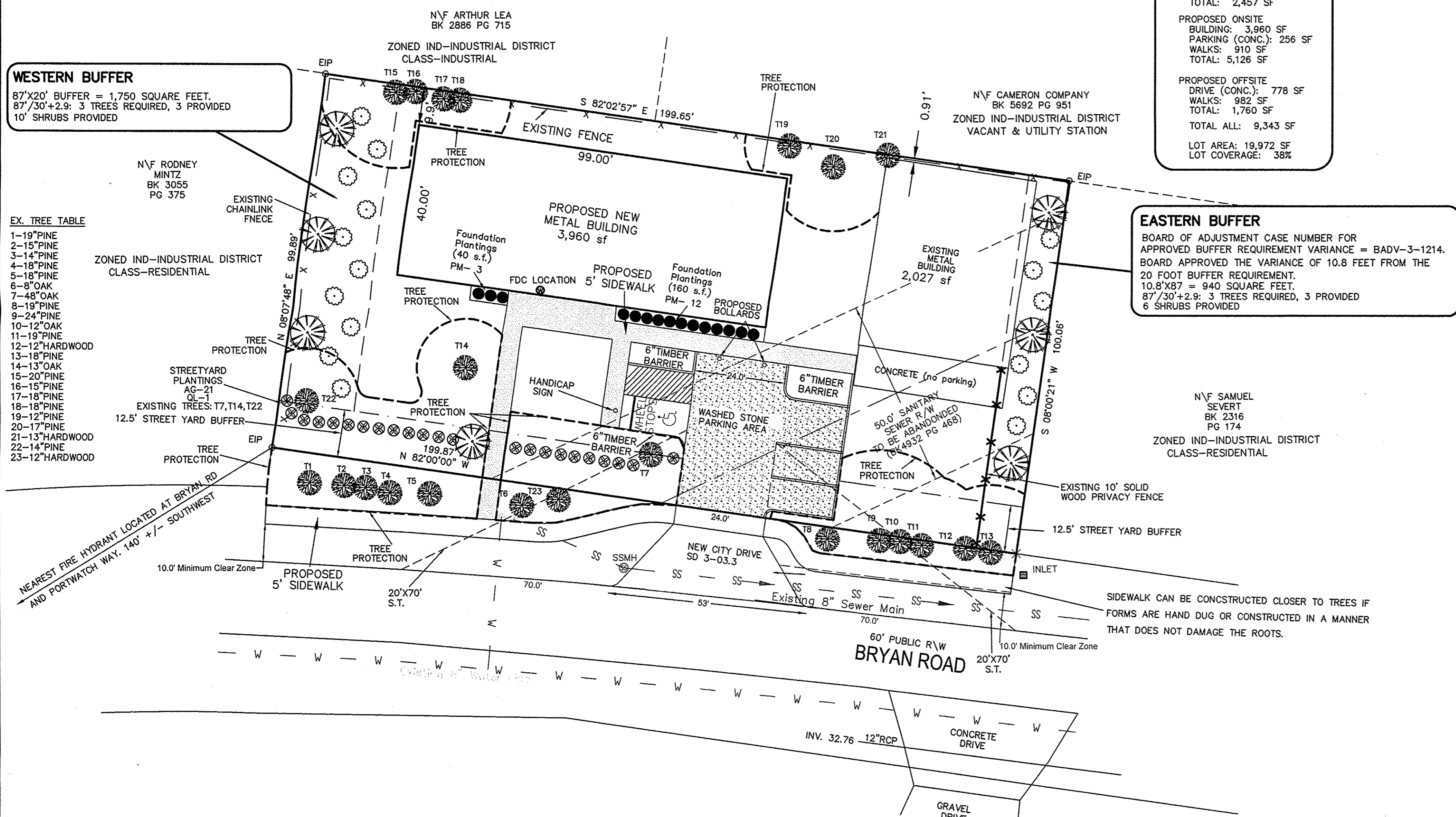
87'X20' BUFFER = 1,750 SQUARE FEET.
 87'/30'+2.9: 3 TREES REQUIRED, 3 PROVIDED
 10' SHRUBS PROVIDED

EASTERN BUFFER

BOARD OF ADJUSTMENT CASE NUMBER FOR APPROVED BUFFER REQUIREMENT VARIANCE = BADV-3-1214.
 BOARD APPROVED THE VARIANCE OF 10.8 FEET FROM THE 20 FOOT BUFFER REQUIREMENT.
 10.8'X8' = 940 SQUARE FEET.
 87'/30'+2.9: 3 TREES REQUIRED, 3 PROVIDED
 6 SHRUBS PROVIDED

EX. TREE TABLE

- 1-19" PINE
- 2-15" PINE
- 3-14" PINE
- 4-18" PINE
- 5-18" PINE
- 6-8" OAK
- 7-48" OAK
- 8-19" PINE
- 9-24" PINE
- 10-12" OAK
- 11-19" PINE
- 12-12" HARDWOOD
- 13-18" PINE
- 14-13" OAK
- 15-20" PINE
- 16-15" PINE
- 17-18" PINE
- 18-18" PINE
- 19-12" PINE
- 20-17" PINE
- 21-13" HARDWOOD
- 22-14" PINE
- 23-12" HARDWOOD



DATE: JAN 2019
 DRAWN BY: JSR
 CHECKED BY: BEK, P.E.
 SCALE: NOT TO SCALE

STANDARD DETAIL
 TREE PROTECTION DURING CONSTRUCTION
 SHEET 1 of 2

CITY OF WILMINGTON
 NORTH CAROLINA
 CITY OF WILMINGTON ENGINEERING
 P.O. BOX 1810
 WILMINGTON, NC 28402
 (910) 341-7807

SD 15-09

DATE: JAN 2019
 DRAWN BY: JSR
 CHECKED BY: BEK, P.E.
 SCALE: NOT TO SCALE

STANDARD DETAIL
 TREE PROTECTION DURING CONSTRUCTION
 SHEET 2 of 2

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 CITY OF WILMINGTON ENGINEERING
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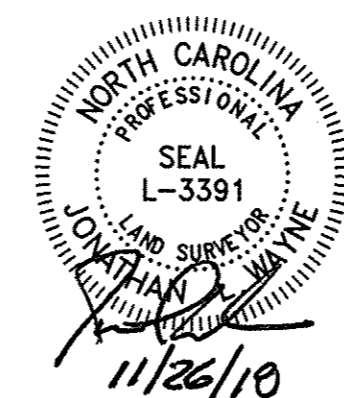
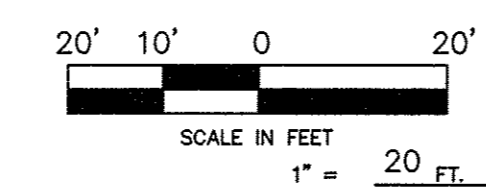
SD 15-09

- NOTES:**
- TREE PROTECTION/REMOVAL PERMIT IS REQUIRED. PERMIT MUST BE OBTAINED AND MEET CITY OF WILMINGTON REQUIREMENTS.
 - NO TREES ARE PROPOSED TO BE REMOVED FROM THE SITE.

BUFFER YARD REQUIREMENTS:
 (FENCE & PLANTING COMBINATION TO BE DETERMINED BY OWNER & CITY ARBORIST)
 SOLID ARTIFICIAL FENCING WITH TWO ROWS OF A COMBINATION OF TREES & SHRUBS PROVIDED AT A MINIMUM HEIGHT OF THREE FEET AT INITIAL PLANTING AND GIVE AT LEAST 50% VISUAL OPACITY OF THE FENCE AT PLANTING, OR IF PERMEABLE FENCING IS USED, TWO ROWS OF PLANTED MATERIALS WHICH GIVE APPROXIMATELY 100% OPACITY OF THE FENCE WITHIN THREE YEARS OF PLANTING. THE BUFFER VEGETATION SHALL BE LOCATED BETWEEN THE FENCE AND THE COMMON PROPERTY LINE.

- LEGEND**
- E.I.P. = EXISTING IRON PIPE
 - E.I. = EXISTING IRON
 - E.C.M. = EXISTING CONCRETE MONUMENT
 - R/W = RIGHT OF WAY
 - C.P. = COMPUTED POINT
 - = DWARF EVERGREENS
 - = EXISTING TREES

- PROPERTY LINE** _____
- BUILDING SETBACK** _____
- CENTERLINE** _____
- EASEMENT** _____
- COMPUTED PROPERTY LINE** _____
- NOTES:**
- AREA COMPUTED BY COORDINATE METHOD
 - ALL DISTANCES ARE HORIZONTAL, NC GRID NORTH
 - FOR REFERENCE SEE AS NOTED
 - SURVEYED DECEMBER 2015, TOPOGRAPHIC INFORMATION ADDED APRIL 2017
 - ELEVATION BASED ON NAVD 1988 (HDS GPS)



REV. NO.	REVISIONS	DATE
5	CITY COMMENTS	11-07-2018
4	CITY COMMENTS	10-04-2018
3	CITY COMMENTS	08-28-2018
2	BUILDING GROSS AREA CHANGE, PARKING CHANGES	03-14-2018
1	CITY OF WILMINGTON TRC REVIEW COMMENTS	10-10-2017

LANDSCAPE PLAN
SALTWATER PROPERTIES LLC
 CITY OF WILMINGTON
 NEW HANOVER COUNTY, NORTH CAROLINA

OWNER: SALTWATER WOODWORKING, INC.
 200 S. 4th STREET
 CAROLINA BEACH, NC 28428

HANOVER DESIGN SERVICES, P.A.
 LAND SURVEYORS, ENGINEERS & LAND PLANNERS
 1123 FLORAL PARKWAY
 WILMINGTON, N.C. 28403
 PHONE: (910) 343-9002 LICENSE NO.: 00069Z

Date: 12-01-17
 Scale: 1" = 20'
 Drawn: WNP
 Checked: JLW
 Project No: 12857-slt
 Sheet No: 2
 of: 2

Preliminary Plan

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